Urban Yard Interior Renovation

- Location: 40-09 21st Street Long Island City, NY 11101
- **Owner:** Elms Realty
- CM: Build Fresh Construction
- Date: April 26, 2021





DESIGN. CONSTRUCTION. INNOVATION.

Agenda

Section 1: Project Understanding and Approach Section 2: Firm Introduction Section 3: Relevant Projects Section 4: Team Organizational Chart Section 5: Team Biographies Section 6: CPM Project Schedule (Milestones) Section 7: 2-Week Look Ahead Schedule Section 8: Staffing Chart Section 9: Summary Estimate Section 10: Detailed Trade Take-off Section 11: Value Engineering Proposal Section 12: Construction Site Logistics Plan(s) Section 13: Construction Site Safety Plan Section 14: Quality Assurance/Quality Control Plan Section 15: Constructability Review Section 16: Sustainable Construction Plan Section 17: Construction Technology Initiative Section 18: Work Cited Section 19: PowerPoint Slide Presentation







Section 1: Project Understanding & Approach

Project Understanding

- Project Name: Urban Yard
- Location: 40-09 21st street Long Island City, NY 11101
- **Owner:** Elms Realty •

- Architect: Murdock Solon •
- Structural Engineer: Blue Sky Design ۲
- **MEP Engineer:** 2LS Consulting Engineering
- Interior Designer: Input Creative Studio
- Project Size: 6 story commercial building interior renovation

REA TABLE	PROPOSED FLOOR AREA TABLE



TAX LOT	#9	EXISTING FL	OOR AREA TABLE	PROPOSED FLOOR AREA TA
ADRESS	40-09 21ST ST		LOT 9	LOT 9
STORIES	6	FLOOR	40-09 21ST ST	40-09 21ST ST
LOT W	262'	CELLAR	824	8509
LOT L	52.5'	FIRST	13427	13427
LOT AREA	13,773 SF	SECOND	13156	13156
		THIRD	12715	12715
ZONING DISTRICT	M1-3	FOURTH	12715	12715
MAX. PERMIT. FAR	5	FIFTH	12715	12715
FAR x LOT AREA	5 x 13,773	SIXTH	12715	12715
MAX ZONING FLOOR	68,665 SF	ROOF	0	88
AREA				
NOTE: NO MECHANICAL	ROOM DEDUCTIONS TAKEN	TOTAL	78155	86040

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MEP ENGINEER

BLUE SKY DESIGN

2LS CONSULTING ENGINEERING

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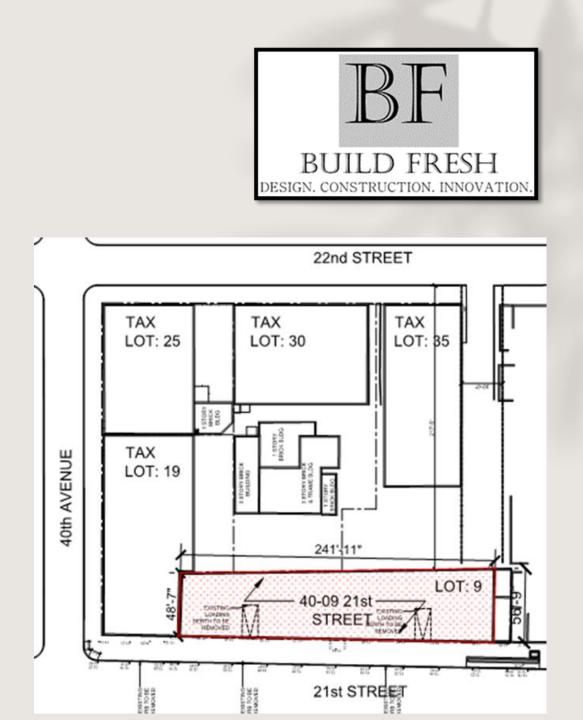
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PROJECT

INTERIOR RENOVATION 40-09 21ST STREET LONG ISLAND CITY, NY 11101

Scope of Work / Approach

1.) Partial Demo of slabs and columns 2.) Gut interior of MEPs and all partitions 3.) Install new framing 4.) Install new MEPS 5.) Install 2 new elevators 6.) Install new fire Staircase 7.) Install new CMU Walls 8.) Close and finish walls 9.) Install wall and flooring finishes 10.) Install new FF&E 11.) Paint White Boxed Areas 12.) Polish Existing Concrete Floors





Section 2: Firm Introduction

Firm Introduction

• Firm History:

• Founded by Brian Fegan in 1991

• Firm Size:

- 147 full time staff
- Annual Revenue \$115 Million
- Average Project Cost \$13 Million

• Firm Location:

- 285 Madison Ave, New York, NY 10017
- Internship Program
- Experts in our field
- Happy Clients create Successful Firms







Section 3: Relevant Projects

Relevant Projects: 129 Lafayette



BUILD FRESH DESIGN. CONSTRUCTION. INNOVATION

Renovated existing 81,000 sq. ft. 11-story Building Upgrade:

Collaboration with 2LS Engineering and Murdock Solon.

Gut renovation and new building core:

- Two New elevators
- New Roof-top structure
- New MEP systems
- New Finishes
- 12-foot lofted Ceilings

Relevant Projects: 61 N. Moore Street



Renovated a classic landmarked building, Originally a warehouse built in 1897. Now a new luxury condominium. 10 Units

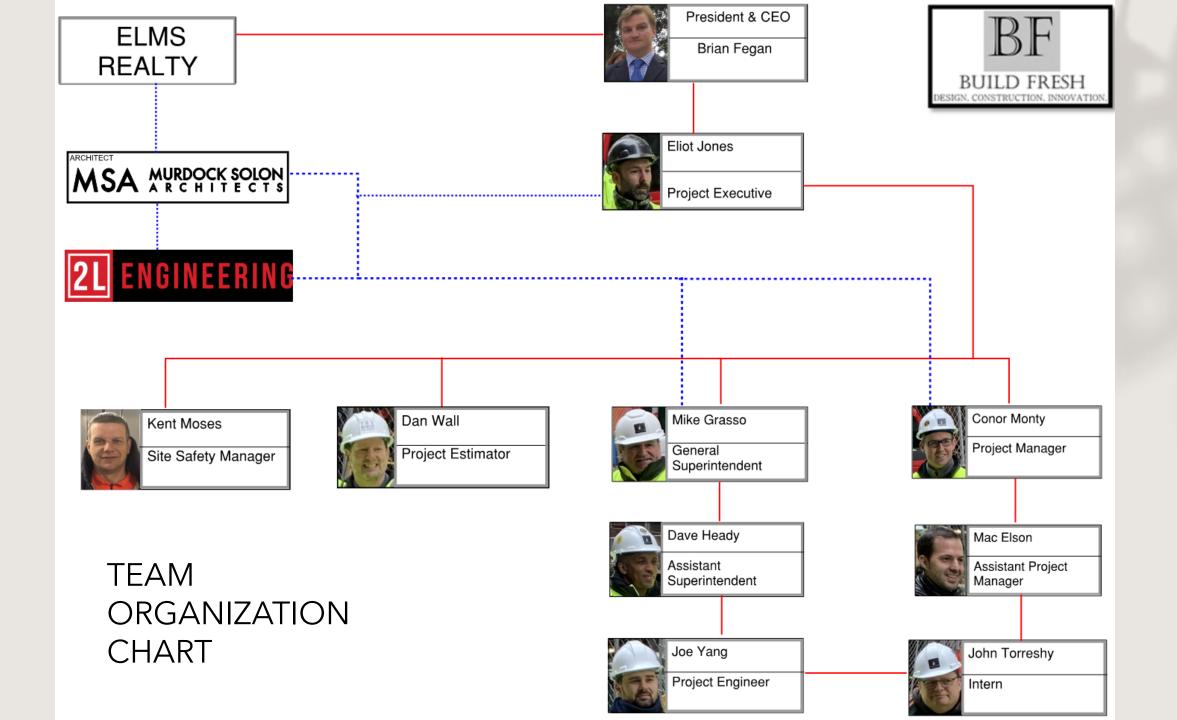
Collaboration with ELMS Realty & Murdock Solon **Gut renovation and conversion:**

- 27,500 sq. ft. building renovation
- Heavy Timber construction
- Virtual doorman amenity
- Landmarked, yet adding 2 penthouses at the top and a rear yard in the cellar.





Section 4: Team Organizational Chart





Section 6: CPM Project Schedule

CPM project Schedule

Milestone Completion Dates:



- 1.) <u>Preconstruction phase</u> = Start April 27^{th} , 2021 and be complete by June 1^{st} , 2021
- 2.) <u>Demolition & Excavation phase</u> = July 26th , 2021
- 3.) <u>Concrete and Steel phase</u> = October 20th , 2021
- 4.) Interior Fit-Out phase = November 17th , 2021
- 5.) <u>Roof/EMR & Elevators</u> = December 15th , 2021
- 6.) <u>Close-Out</u> = February 16th , 2022

CPM Project Schedule Milestones



ID		Task Name		Duration	Start	Finish													
	M						Qtr 2, 2021			Qtr 3, 2021			Qtr 4, 2021			Qtr 1, 2022			
							Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Ma	r –
1	÷																		
2	i -	Permits		15 days	Tue 4/27/21	Mon 5/17/21													
3	i -	Award Major Trades		10 days	Tue 5/18/21	Mon 5/31/21			I										
4	-	Shop Drawings & Sul	omittals	20 days	Mon 5/31/21	Fri 6/25/21													
5	÷	Fabrication		45 days	Mon 5/31/21	Fri 7/30/21													
6	÷	Mobilization		8 days	Tue 6/1/21	Thu 6/10/21													
9	÷	Demolition		22 days	Fri 6/11/21	Mon 7/12/21													
20	÷	Excavation		10 days	Tue 7/13/21	Mon 7/26/21					ן								
26	*	Structure		34 days	Tue 7/27/21	Fri 9/10/21					-	-1 ,							
65	Ę	Steel		51 days	Mon 9/13/21	Mon 11/22/21						*							
84	*	1st Floor		43 days	Wed 9/8/21	Fri 11/5/21													
113	*	2nd Floor		41 days	Fri 9/10/21	Fri 11/5/21													
142	*	3rd Floor		41 days	Tue 9/14/21	Tue 11/9/21													
171	*	4th Floor		41 days	Thu 9/16/21	Thu 11/11/21								1					
200	Ę	5th Floor		41 days	Mon 9/20/21	Mon 11/15/21								1					
229	÷	6th Floor		41 days	Wed 9/22/21	Wed 11/17/21													
258	÷	Roof / EMR		70 days	Thu 9/9/21	Wed 12/15/21						—							
268	*	Elevator		39 days	Thu 10/21/21	Tue 12/14/21													
275	*	Finishes & Close-Out		51 days	Wed 12/8/21	Wed 2/16/22									1				
			Task		Project Su	mmary		Manual Task			Start-only	C		Deadline	+				
Projec	t: Pr	oject schedule	Split		Inactive Ta	ask		Duration-only			Finish-only	a		Progress					
Date:	Sun	3/14/21	Milestone 🔶	•	Inactive M	ilestone 🔷		Manual Summa	y Rollup		External Tasks			Manual Progress					
			Summary		Inactive St	ummary	1	Manual Summa	у 🛏	 1	External Milestone	•							
	Page 1																		



Section 7: 2 – Week – Look – Ahead

2 week look ahead

	Job Name:	Build F Urban 05/27/2	Yard	09/21											
-		Thur	Fri	Sat	Sun	Mon		Wed		Fri	Sat	Sun	Mon		Wed
Floors	Tasks	27-May	28-May	29-May	30-May	31-May	1-Jun	2-Jun	3-Jun	4-Jun	5-Jun	6-Jun	7-Jun	8-Jun	9-Jun
Bulkhead	Demo existing	*	*			*									
Roof	Demo existing		*			*	*								
6th floor	Demo existing					*	*	*							
5th floor	Demo existing						*	*	*						
4th floor	Demo existing							*	*	*					
3rd floor	Demo existing								*	*			*		
2nd floor	Demo existing									*			*	*	
1st floor	Demo existing												*	*	*
Cellar	Demo existing													*	*



Section 8: Staffing Chart

Project Staffing Chart



DESIGN. CONSTRUCTION. INNOVATION.

Title:	HOURS PER MONTH	HOURS	% OF TIME
PRESIDENT & CEO	5.25	48	3%
PROJECT EXECUTIVE	13	116	11%
PROJECT MANAGER	68	612	43%
ASSISTANT PROJECT MANAGER	68	612	43%
PROJECT ESTIMATOR	23.25	196	14%
GENERAL SUPERINTENDENT	164	1.476	100%
ASSISTANT SUPERINTENDENT	164	1,476	100%
PROJECT ENGINEER	77.5	700	75%
SITE SAFETY SUPERVISOR	165	1,497	100%
INTERN	90	880	32%
	PRESIDENT & CEO PROJECT EXECUTIVE PROJECT MANAGER ASSISTANT PROJECT MANAGER PROJECT ESTIMATOR GENERAL SUPERINTENDENT ASSISTANT SUPERINTENDENT PROJECT ENGINEER SITE SAFETY SUPERVISOR	PER MONTHPRESIDENT & CEO5.25PROJECT EXECUTIVE13PROJECT MANAGER68ASSISTANT PROJECT MANAGER68PROJECT ESTIMATOR23.25GENERAL SUPERINTENDENT164ASSISTANT SUPERINTENDENT164PROJECT ENGINEER77.5SITE SAFETY SUPERVISOR165	PER MONTHPER HOURSPRESIDENT & CEO5.2548PROJECT EXECUTIVE13116PROJECT MANAGER68612ASSISTANT PROJECT MANAGER68612PROJECT ESTIMATOR23.25196GENERAL SUPERINTENDENT1641.476ASSISTANT SUPERINTENDENT1641.476PROJECT ENGINEER77.5700SITE SAFETY SUPERVISOR1651.497



Section 9: Summary Estimate

	Description	Cost	Cost per SF	%
Division 01	General Requirements	\$483,985	\$5.63	5.06%
Division 02	Existing Conditions - Demolition	\$430,421	\$5.00	4.50%
Division 03	Concrete	\$1,606,905	\$18.68	16.80%
Division 04	Masonry	\$596,851	\$6.94	6.24%
Division 05	Metals	\$320,425	\$3.72	3.35%
Division 06	Wood, Plastic, & Composites	\$1,007,185	\$11.71	10.53%
Division 07	Thermal & Moisture Protection	\$167,386	\$1.95	1.75%
Division 08	Openings	\$168,342	\$1.96	1.76%
Division 09	Finishes - Tiles	\$417,030	\$4.85	4.36%
Division 09	Finishes - Floor Covering	\$351,989	\$4.09	3.68%
Division 09	Finishes - Painting	\$154,952	\$1.80	1.62%
Division 10	Specialities - Lobby	\$159,734	\$1.86	1.67%
Division 11	Equipment	\$14,347	\$0.17	0.15%
Division 12	Furnishings	\$7,652	\$0.09	0.08%
Division 13	Special Construction	\$52,607	\$0.61	0.55%
Division 14	Conveying Equipment - Elevators	\$315,642	\$3.67	3.30%
Division 22	Plumbing	\$688,674	\$8.00	7.20%
Division 23	HVAC	\$963,187	\$11.19	10.07%
Division 26	Electrical	\$822,583	\$9.56	8.60%
Division 27	Communications	\$87,041	\$1.01	0.91%
Division 28	Electronic Safety & Security	\$143,474	\$1.67	1.50%
Division 31	Earthwork - Excavation	\$580,590	\$6.75	6.07%
Division 33	Utilities	\$80,345	\$0.93	0.84%
Trade Sub-Total:		\$9,564,913	\$111.82	100%
	Building Permit Fees	\$66,557.61	\$0.77	2.50%
	General Conmditions - Reimbursables	\$133,115.22	\$1.55	5%
	CM Staff	\$266,230.43	\$3.09	10%
	Overhead & Profit	\$266,230.43	\$3.09	10%
	Insurance	\$133,115.22	\$1.55	5%
	CM Fee	\$73,213.37	\$0.85	2.75%
Fee Subtotal:		\$2,662,304.34		
Total:		\$12,227,217.34		



Gross Area (SF)	86,040
Cost / (SF)	142.1

Trade Sub-Total Cost: (\$9.5 Million)

CM Fee: (\$73 Thousand)

Fee Sub-Total: (\$2.6 Million)

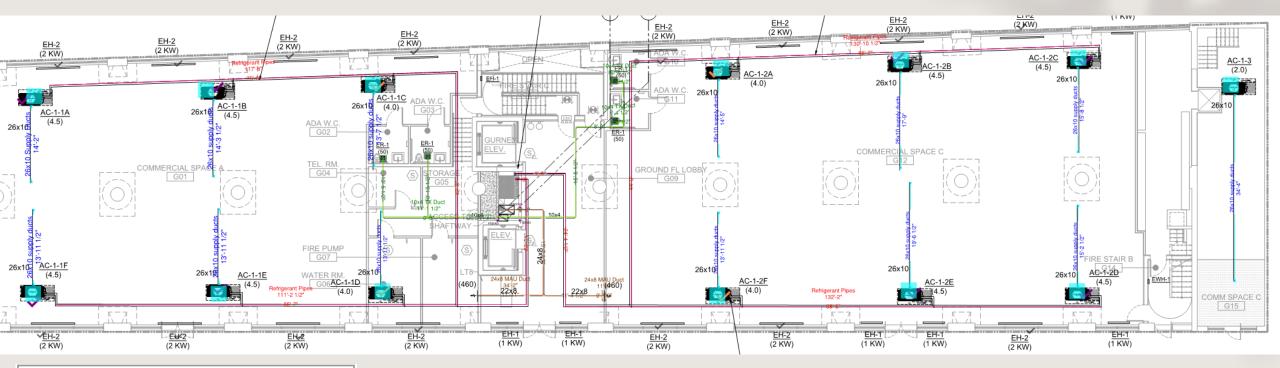
Total Cost: (\$12.2 Million)



Section 10: Trade Take-Off

HVAC Take-off (1st Floor / Lobby)





1st Floor:

- ✓ Slip Unit arnu543m3a4 = 8
- \checkmark Slip Unit arnu483m3a4 = 4
- \checkmark Slip Unit arnu243m2a4 = 1
- FSD/AD = 3
- TX Grills = 4
- Drip Pans = 13
- Supply Ducts = 214.9 Feet
- TX Ducts = 93 Feet
- MUA Ducts = 45.6 Feet
- Refrigerant Pipes = 983.8 Feet
- Condensate Drain pipes = 492 Feet

Blue Beam Take off Software

(2 KW) (2 KW) (2 KW) (2 KW) AC-2-2C (4.5) -**1 ~** AC-2-2A (4.0) 26x1 26x1 100 26x AC-2-1C (4.0) AC-2-1B (4.5) AC-2-1A (4.5) 26x10 COMMERCIAL SPA SPACE LOBBY SHAFTW DMEN'S BATHROOM Ø ER-1 FIRE STAIR B AC-2-1F (4.5) 26x10 26x10 26x10 AC-2-2D 26x10 AC-2-1D (4.0) 26x10 AC-2-1E 26x10 AC-2-2F AC-2-2E (4.5)460) (4.5)(4.0) Refrigerant Pipes 111'-0" Refrigerant Pipes 131'-10" (4.5) 22x8 10

2nd Floor:

- ✓Slip Unit arnu543m3a4 = 8
- \checkmark Slip Unit arnu483m3a4 = 4
- ✓ Slip Unit arnu243m2a4 = 0
- = FSD/AD = 3
- TX Grills = 4
- Drip Pans = 12
- Supply Ducts = 182 Feet
- TX Ducts = 75 Feet
- MUA Ducts = 45 Feet
- Refrigerant Pipes = 985 Feet
 - Condensate Drain pipes = 492 Feet

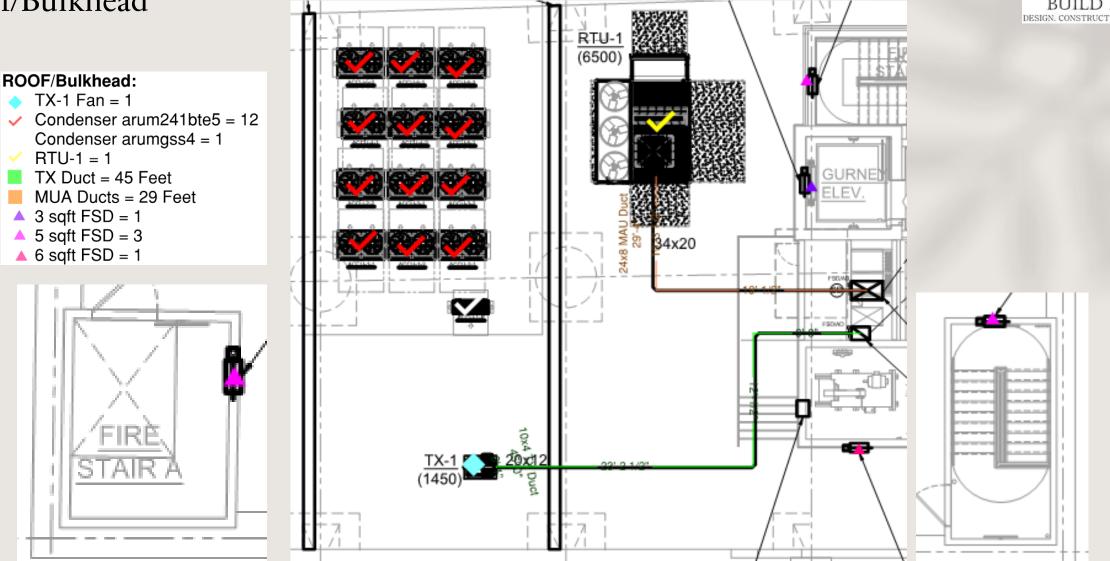
Blue Beam Take off Software





HVAC Take-off Roof/Bulkhead





Blue Beam Take off Software

Description	avg. size/Model #	Length / Quantity		
MUA duct	20x16	336 Feet		\$107,520
TX duct	12x8	519 Feet		\$49,824
Supply duct	26x10	1124 Feet		\$292,240
Refrigerant pipe	1-1/2" OD pipe	5906 Feet		\$8,859
Condensate drain	1-1/2" OD pipe	2953 Feet		\$4,429.50
Split Air Conditioning Units	arnuE42m2a4	49 Lipite	¢2 E00	\$168,000
Split Air Conditioning Units		48 Units	\$3,500	\$168,000
Split Air Conditioning Units		24 Units	\$3,500	\$168,000
Split Air Conditioning Units		1 Unit	\$3,500	\$168,000
TX-1	Greenheck USF-16	1 TX Fan	\$550	\$550
Condensers	arum241bte5	12 Units	\$800	\$9,600
Condensers	arun024gss4	1 Unit	\$800	\$800
RTU-1	RN-030-8	1 Unit	\$5,000	\$5,000
AC-TTW-1		1 Unit	\$250	\$250
FSD/AD	10x8	13 FSD/AD	\$100 per sqf	\$1,300
TX Grills	8x4	24 TX Grills	\$100 per sqf	
Drip pans	29"x50"	72 Drip pans	\$50 per sqft	\$3,600
EWH-1	QMARK	Excluded	\$0	\$0
EH-1	Excluded	Excluded	\$0	\$0
EH-2	Excluded	Excluded	\$0	\$0
	2 50 FT	1 FSD	¢100 por caf	\$200
3 SQ FT FSD	3 SQ FT		\$100 per sqft	
5 SQ FT FSD	5 SQ FT	3 FSD	\$100 per sqf	
6 SQ FT FSD	6 SQ FT Sub-To	1 FSD	\$100 per sqf	
	\$992,772.50			
	86,040 x \$5 per	sqft for labor		\$430,200
	al:		\$1,422,972.50	

BUILD FRESH

DESIGN, CONSTRUCTION, INNO

HVAC DESIGN. Take-off Summary

Main Costs

Equipment: \$520,200

Material: \$472,572

Labor: \$430,200

Total = \$1.4 Million



Section 11: Value Engineering Proposal

1.) Remove 2 windows per floor.(Total 12 windows)(\$12,000)

2.) Reinstall the windows after the hoist is removed.(\$18,000)

3.) DOB hoist permits and inspections.(\$5000)

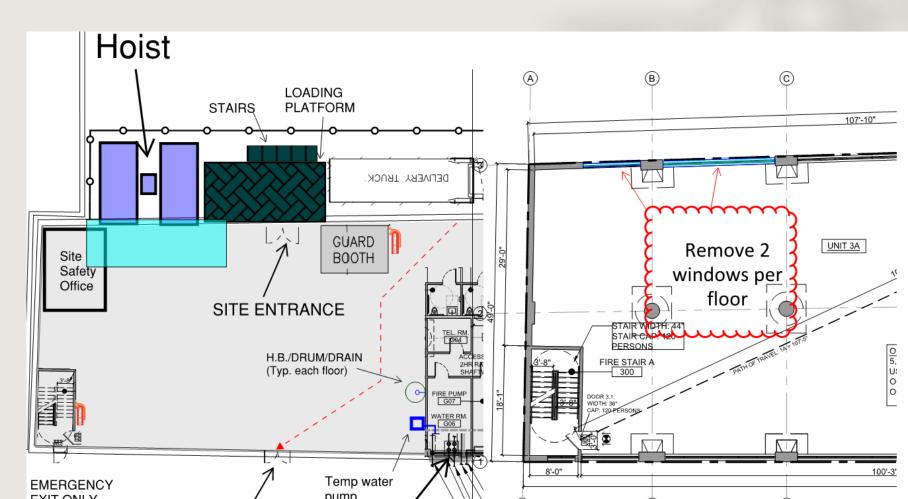
4.) Hoist install and operators.(\$200,000)

5.) Repair holes from hoist building anchors.(\$3,000)

Total Cost = \$238,000

Value Engineering – Crane vs. Hoist





1.) Remove 1 window on every floor.(Total 6 windows)(\$6,000)

2.) Have a crane on site for a 7 days and load the building with all material that can not be carried up the stairs.

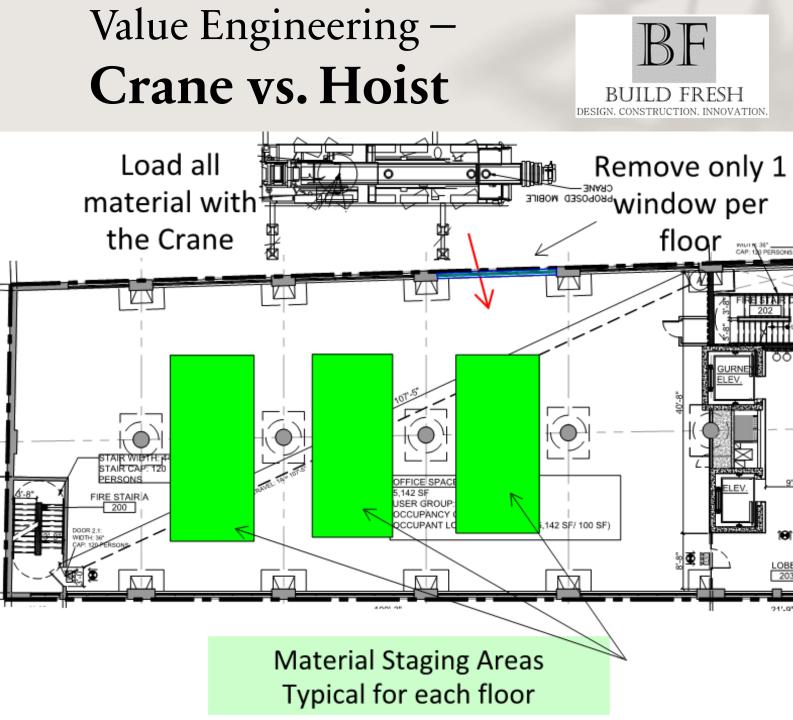
3.) Reinstall windows(\$9,000)

4.) Small risk of water infiltration

5.) DOB permits for only 7 days for crane operations required(\$5,000)

6.) Cost of crane and operator for only 7 days (\$14,000 x 7 days = \$98,000)

Total Cost = \$118,000



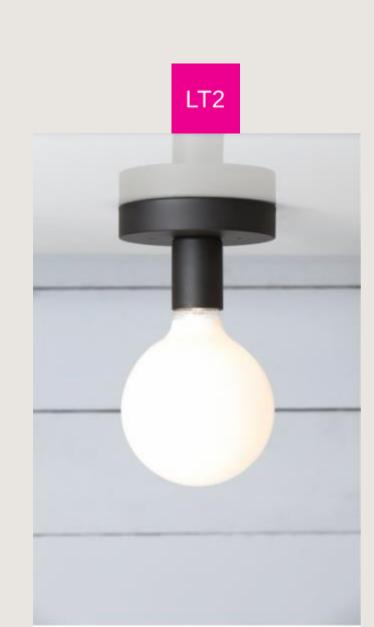
Value Engineering – Crane vs. Hoist Summary

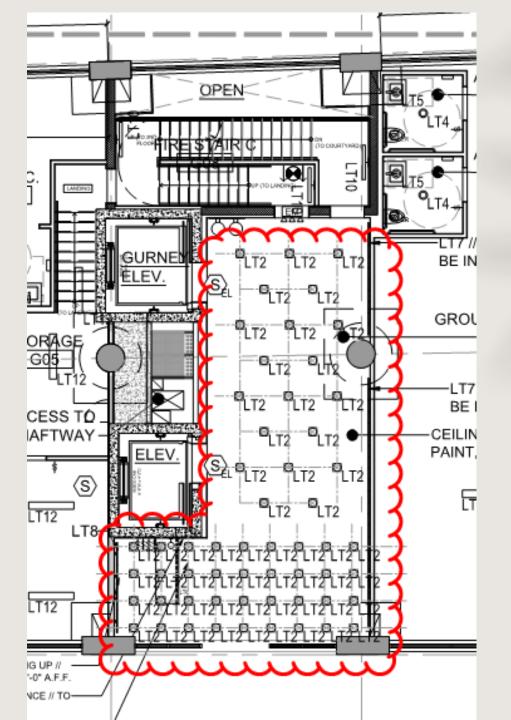
Cost of using a hoist = \$238,000 Cost of using a crane = \$98,000

Cost savings of using a Crane = **\$120,000** % Savings of using a Crane = **49.57%**



Value Engineering – **LT-2**

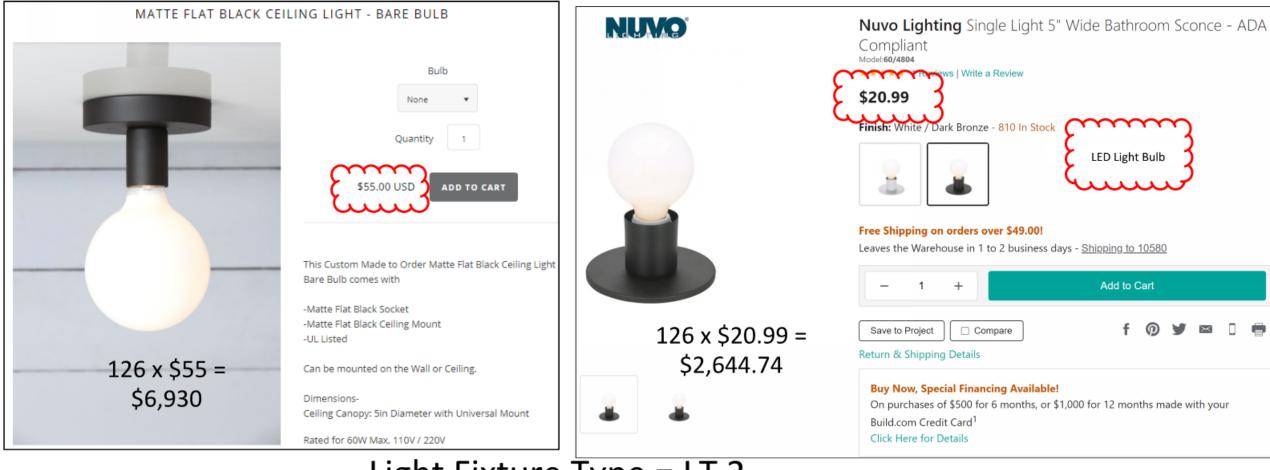






Value Engineering – **LT-2**





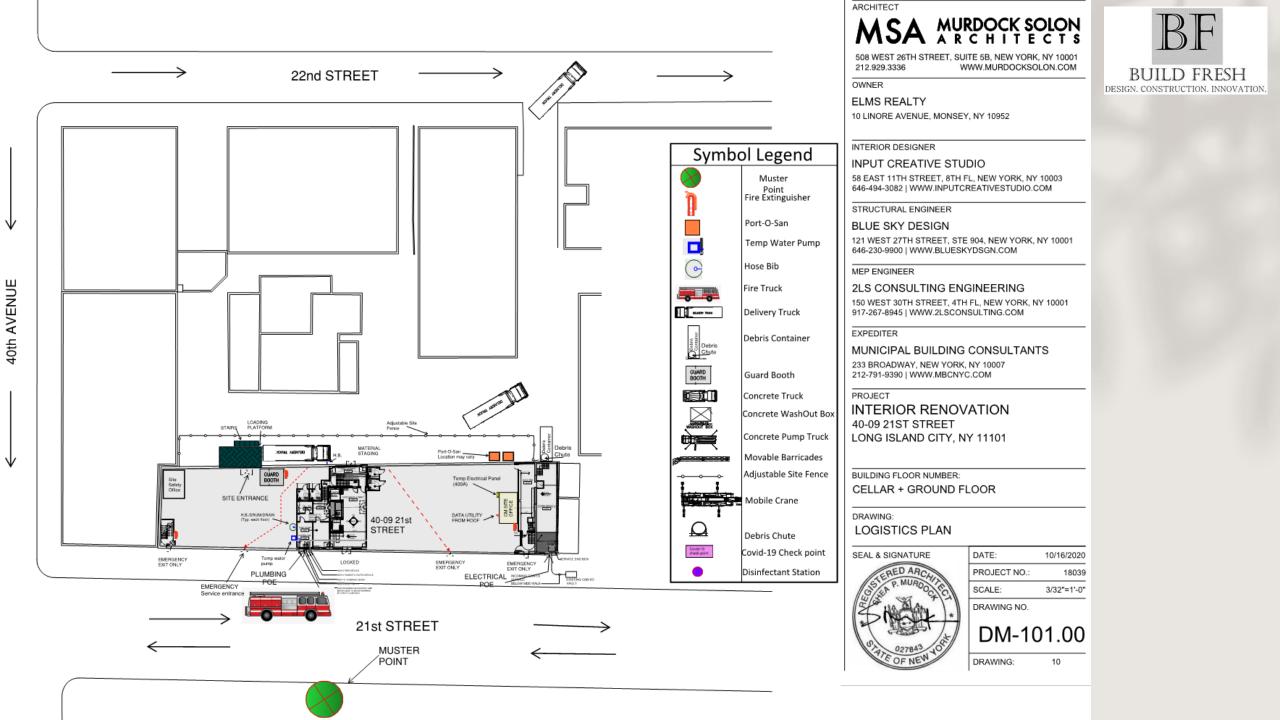
Light Fixture Type = LT 2

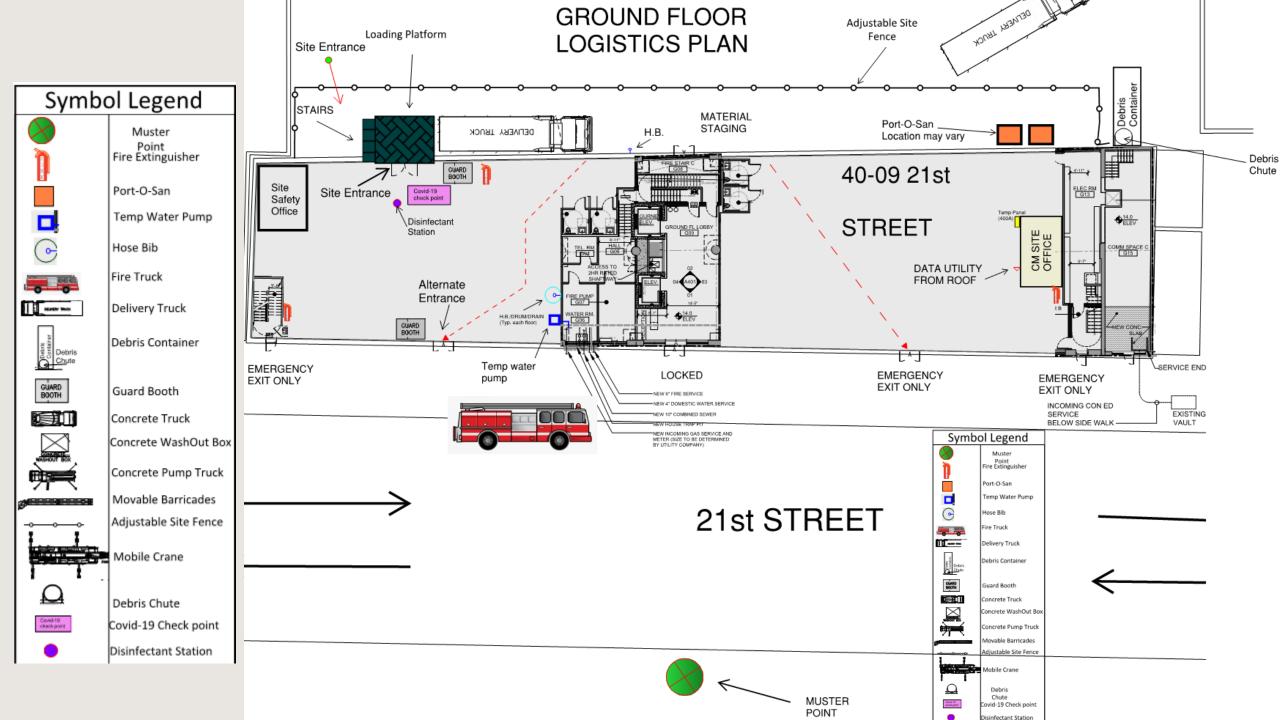
\$34.01 Cost savings per fixture. 126 LT2 light fixtures total. Total savings of \$4,285.26

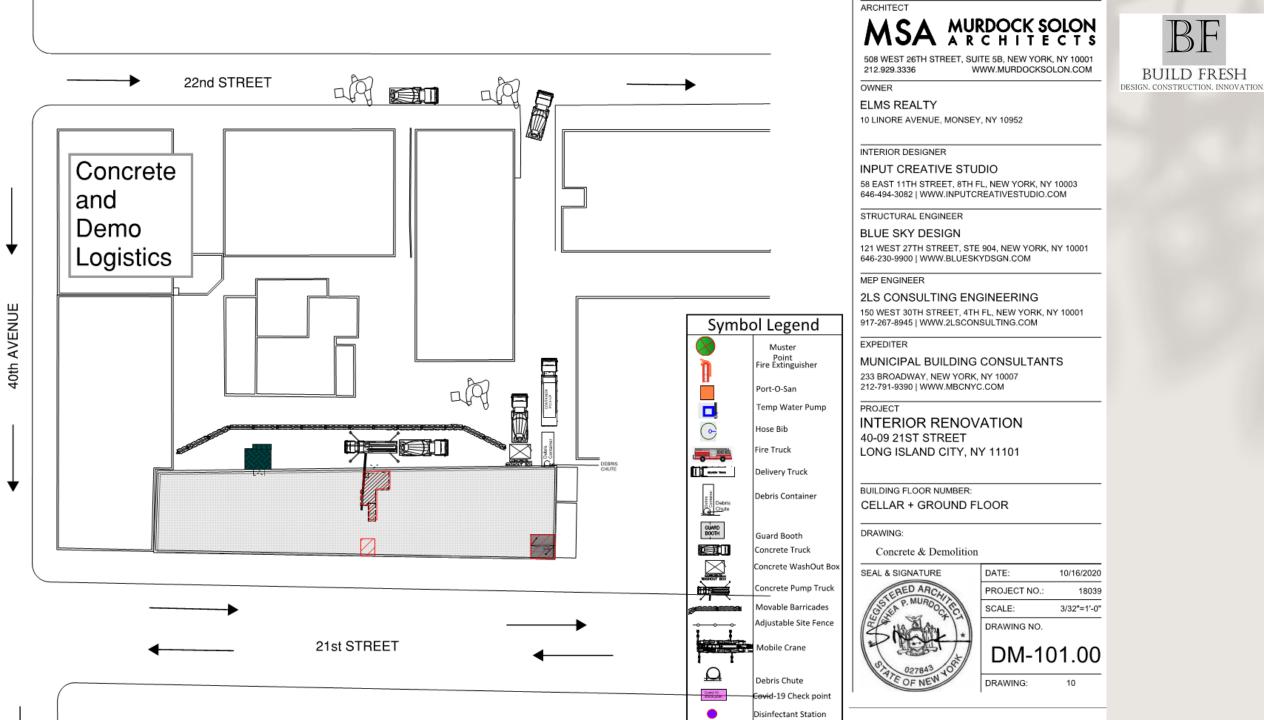
% cost savings = 38.16%

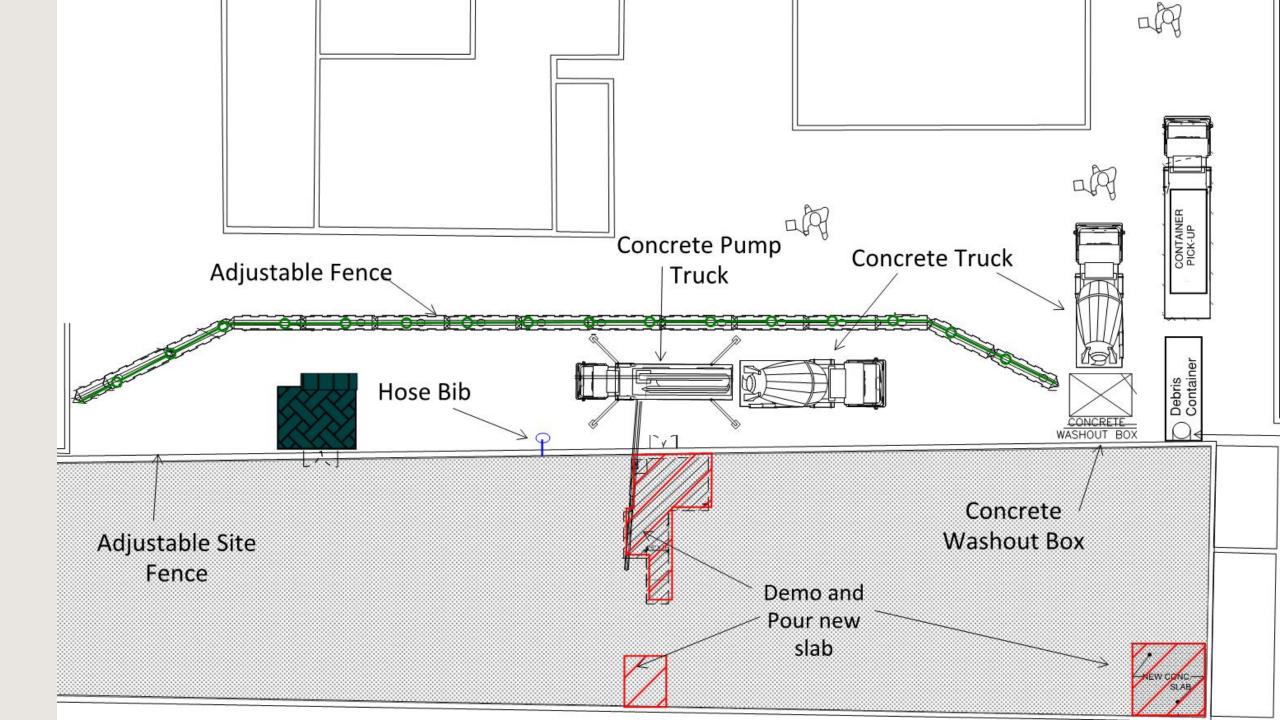


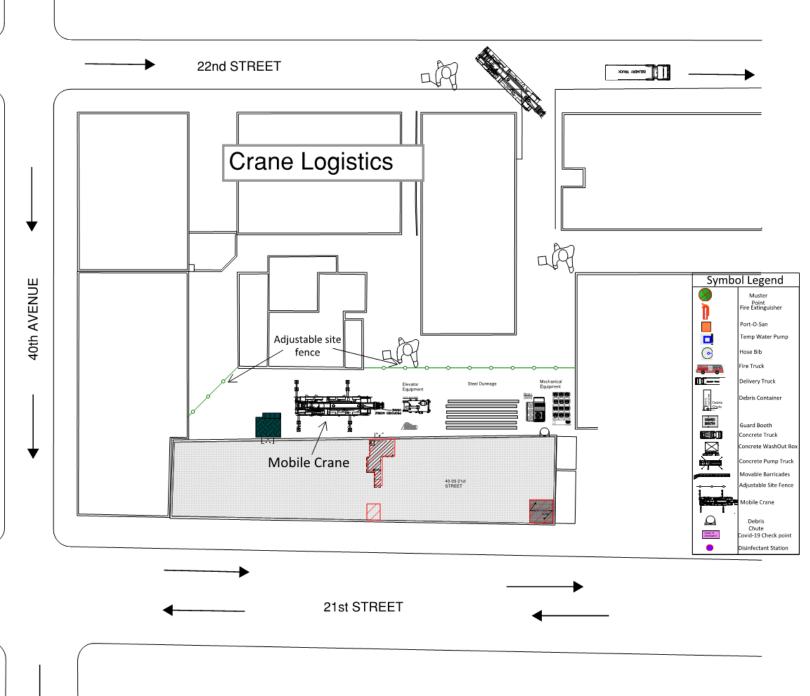
Section 12: Construction Site Logistics











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BF BUILD FRESH DESIGN. CONSTRUCTION. INNOVATION.

OWNER

ELMS REALTY

10 LINORE AVENUE, MONSEY, NY 10952

INTERIOR DESIGNER

INPUT CREATIVE STUDIO

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PROJECT

INTERIOR RENOVATION 40-09 21ST STREET LONG ISLAND CITY, NY 11101

BUILDING FLOOR NUMBER:

CELLAR + GROUND FLOOR

DRAWING:

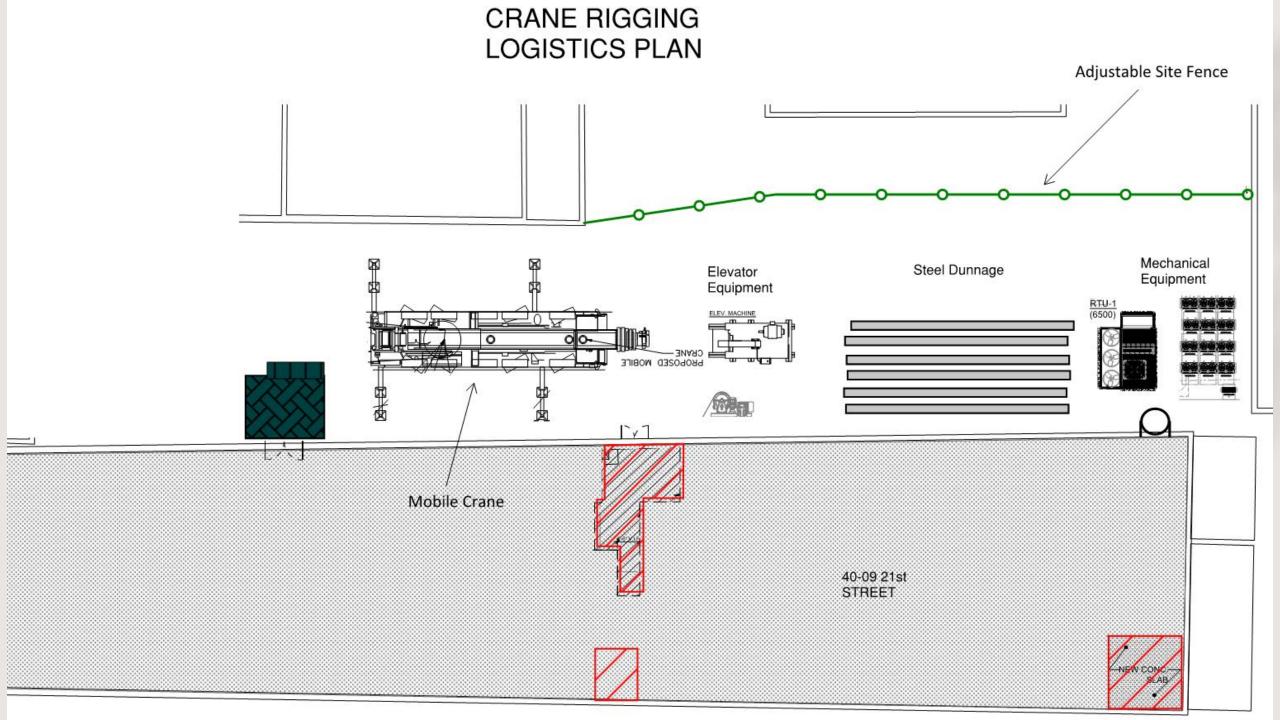
RIGGING PLAN

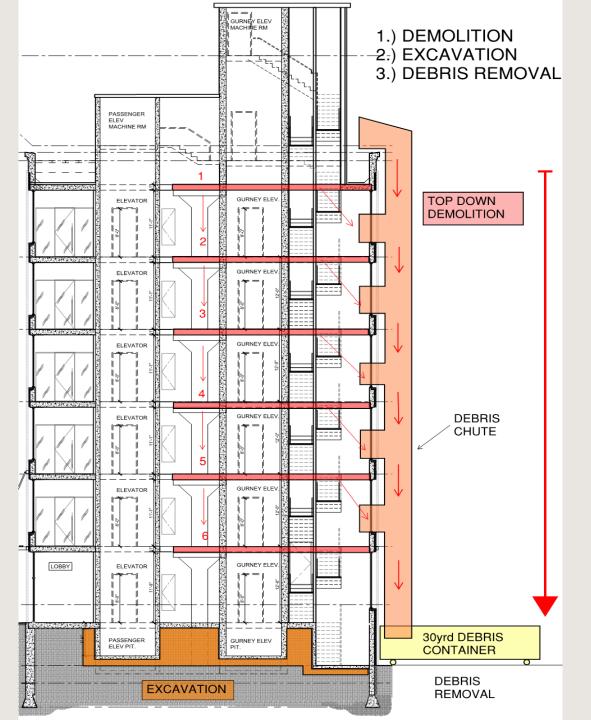




10/16/2020







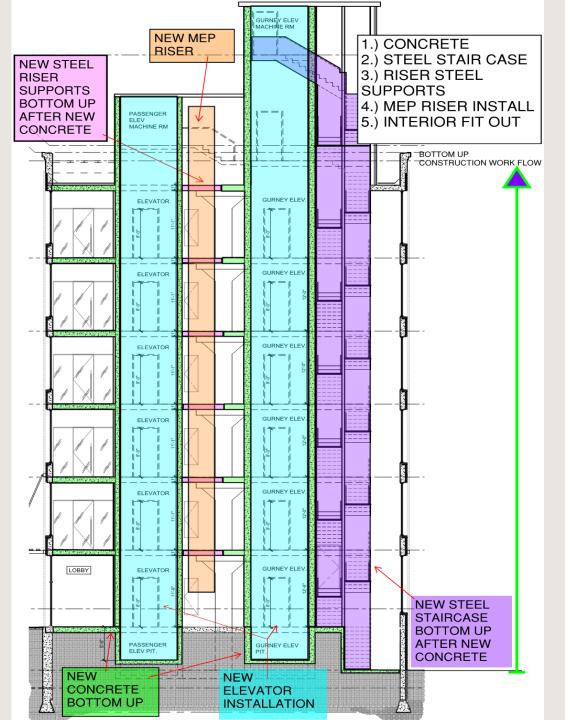


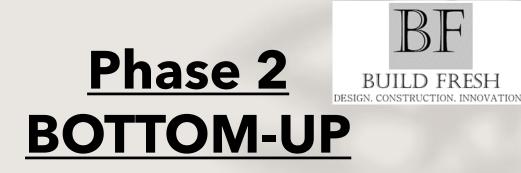
TOP-DOWN

1.) Demolition of Existing

2.) Excavation for Elevator Pits & Fire Staircase

3.) Continuous Debris Removal





1.) New Concrete Elevator Shafts & Partial Slab Infill

2.) New Steel Staircase & MEP Riser Supports

3.) New MEP Riser Installation

4.) Load Material onto Floors via Crane

5.) Then New Interior Fit out



Section 13: Construction Site Safety Plan

Risk Management

BF

_										
			P	ROJECT	RISK REG	ISTER				BUILD FRESH
ltem #	Risk Description	Risk Impact	Probability (Pre-MA)	Impact (Pre-MA)	Severity (Pre-MA)	Mitigation Action (MA)	Probability (Post-MA)	Impact (Post-MA)	Severity (Post-MA)	DESIGN. CONSTRUCTION. INNOVATION.
1	COVID-19	COVID-19 infections are subject for site closures, delays, and stop work orders	5	5	20	Tempature scans of employees upon entry. Sanitation stations throughout the site. Handwashing stations. Man-power tracking logs. Masks must be warn at all times. Staggered start	3	3	10	
2	Water Infiltration	Water getting into the building can casue damage to finished work and cause damages and delays.	3	4	14	Temp water proofing around any roof penetrations. Fast track roof drain installation. Keep material elevated off the ground.	2	3	4	
3	Protection of existing Telecom roof structure.	Damages to the telecom equipment will have cost impacts. This equipemnt could be damaged during concrete and crane operations.	4	з	12	Install overhead scoffolding protection. Do not lift equipment over the telecom structure.	1	2	3	
4	Long lead time items	Equipment and Material with long lead times can cause delays.	3	4	14	Monitor schedule and check on long lead time items every week. Order items before the area is ready for install. Protect material when delivered to site.	2	3	5	
5	Slab demo	Falling debris can cause injury. Slab opening is a fall hazard. Slab may become unstable.	5	4	16	CAZ must be implemented. Slabs must be shored. Guardrails must be installed and maintained.	3	2	8	



GENERAL INFORMATION AND COMPLAINTS: SITE SAFETY LLC SAFETY & QUALITY PLUS NUMBERS 21 WEST 38TH ST, 12TH FLOOR NEW YORK, NY 10018 (212) 683-7200 212-602-0431 D.O.B. INCIDENTS REPORTING

NEW YORK, NY 10041 (212) 839-9588 MIDTOWN NORTH PRECINCT POLICE PRECINCT HOUSE: 306 WEST 54TH STREET NEW YORK, NY, 10019-5102 (212) 767-8400

SCALE:

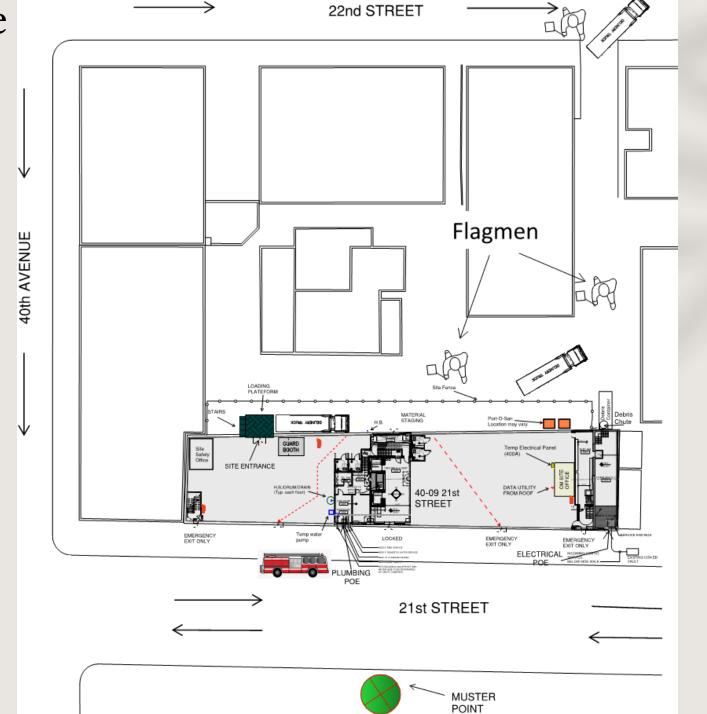
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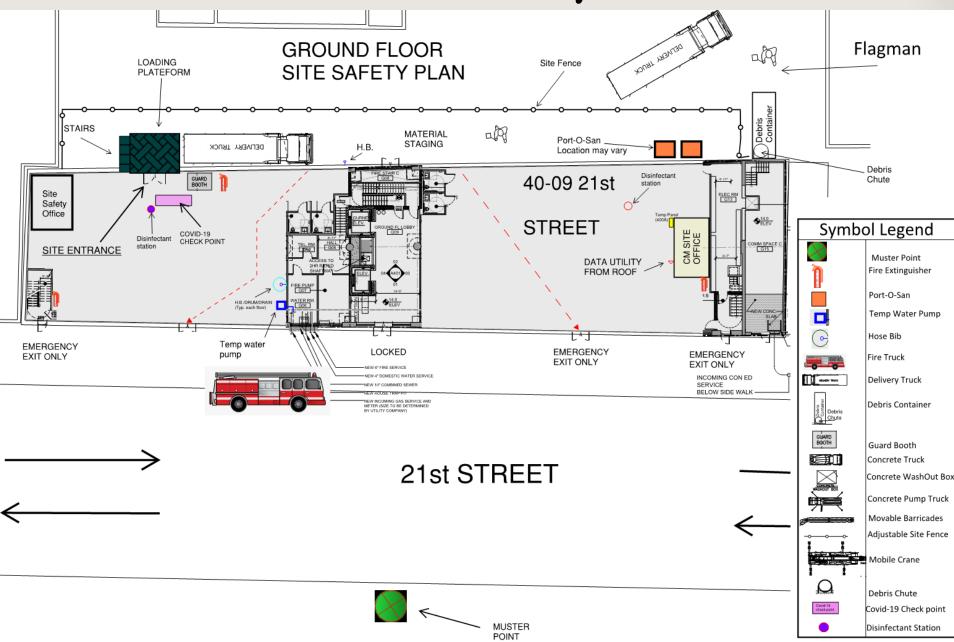
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AS NOTED

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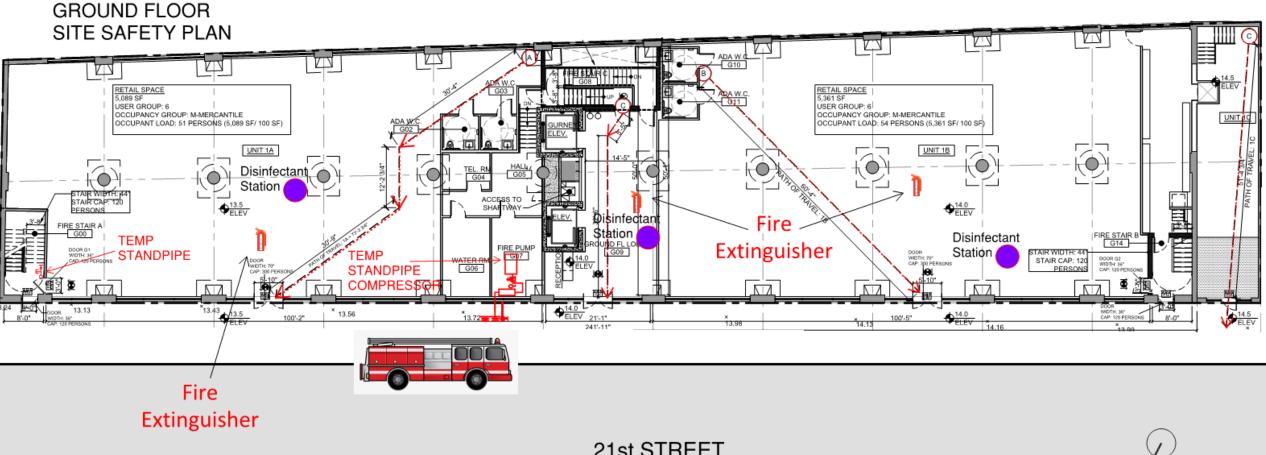








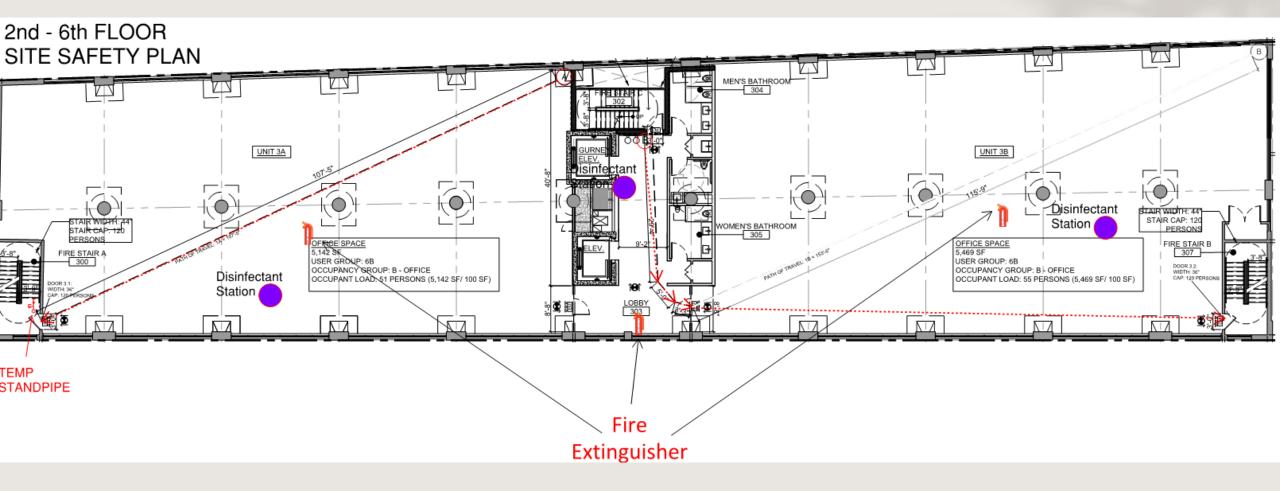




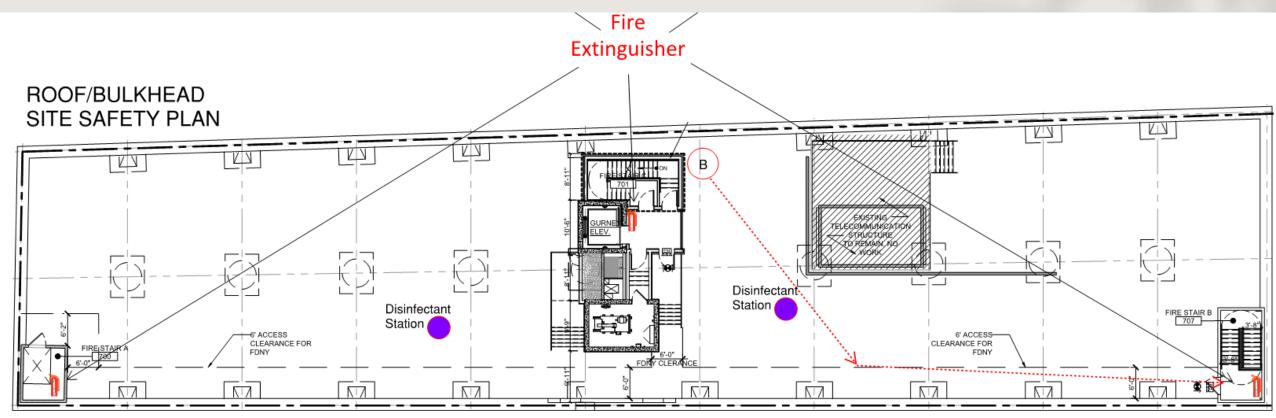
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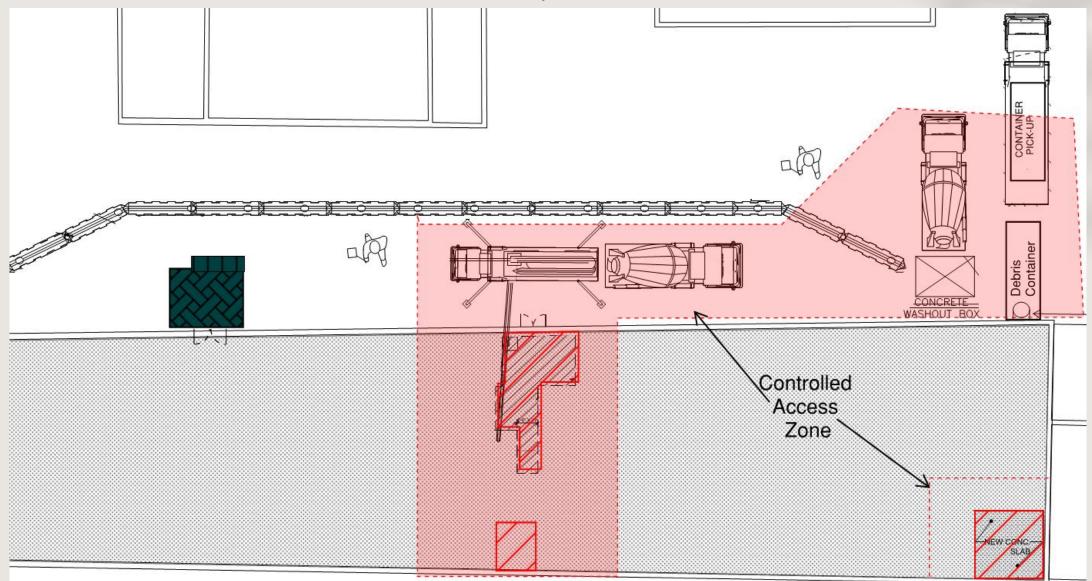


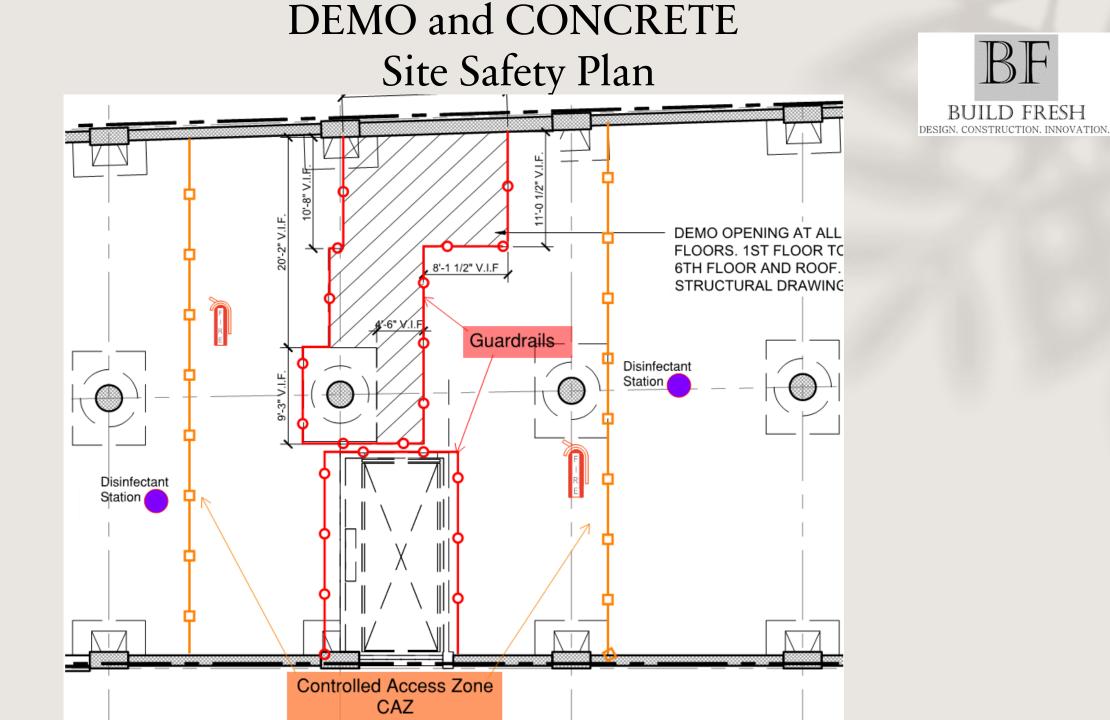




DEMO & CONCRETE Site Safety Plan

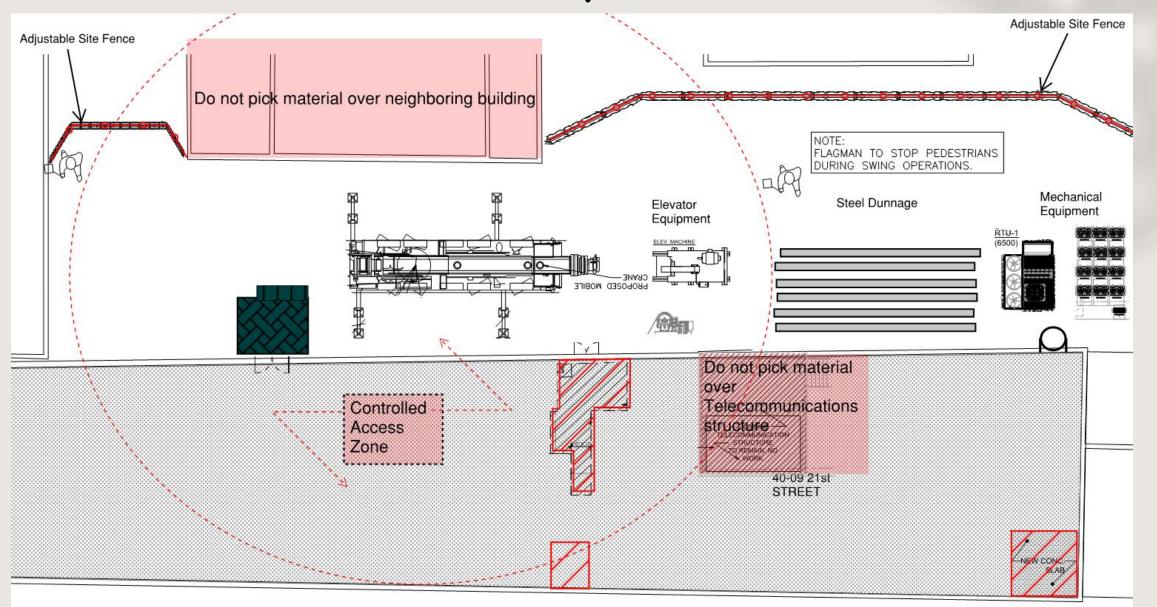






Crane & Rigging Site Safety Plan







- Training/Certifications
- Construction Site Security
- Site Hazard Reduction Guidelines
- Emergency Policies
- Documentation, Reporting, and Recordkeeping
- General Safety Rules and Procedures



COVID-19 Construction Site Safety Plan



- Daily Contract Tracing Documents submitted by each trade.
- Workers who test positive for Covid-19 must quarantine at home.
- Workers in close contact to Covid-19 worker must quarantine for 4 day then get a PCR & Rapid Test before returning to site.
- Manpower on a floor will be limited to accommodate 6 feet spacing.
- Staggered start times will be implemented.
- Staggered break times are mandatory.
- High traffic areas will be sanitized by the laborers daily.
- Handwashing or Disinfectant stations will be located throughout the site.
- Covid-19 PPE is required for all employees to be warn at all times.





Section 14: Quality Assurance / Quality Control

Quality Assurance / Quality Control



Quality Assurance

- Submittals
- Material Samples
- Coordination Drawings
- Mock-ups
- Design meetings
- Shop drawings

Quality Control

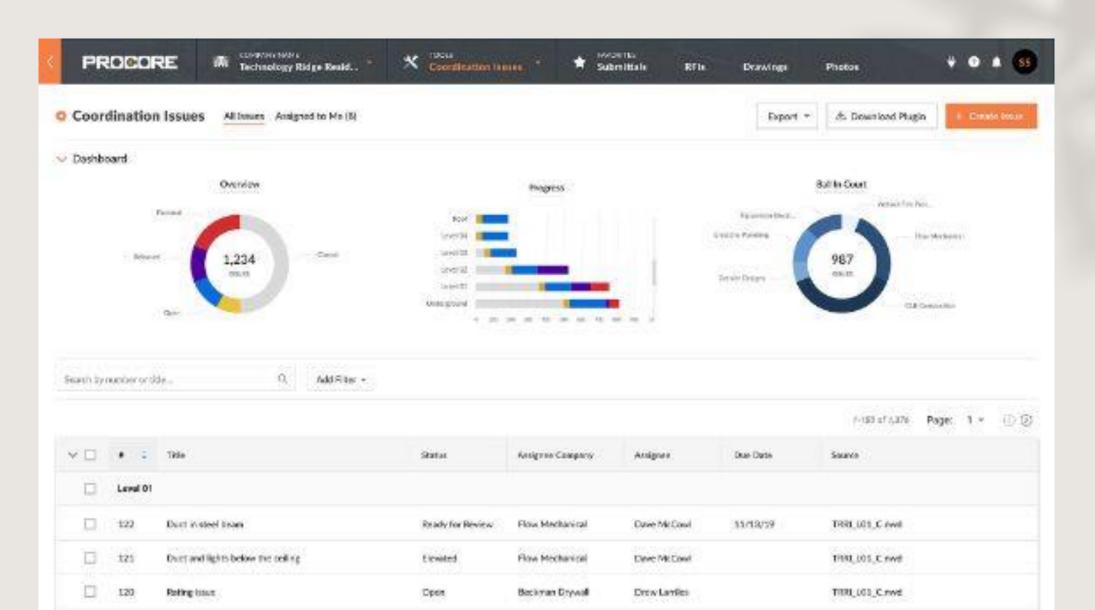
- 3rd party special inspections
- Concrete & Rebar
- inspections
- Fire-stopping inspections
- Pre-Punch-list
- Punch-list management
- As-Built Drawings
- Start-Up Commissioning

Quality Assurance / Quality Control

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										Jeff Kemper (Jewett Construction)	
										Adam Spinner (Spinner Steel)	
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Quality Assurance / Quality Control







Section 15: Constructability Review

Constructability Review

<u>Ceiling Height & MEP Overhead</u>:

<u>lssue:</u>

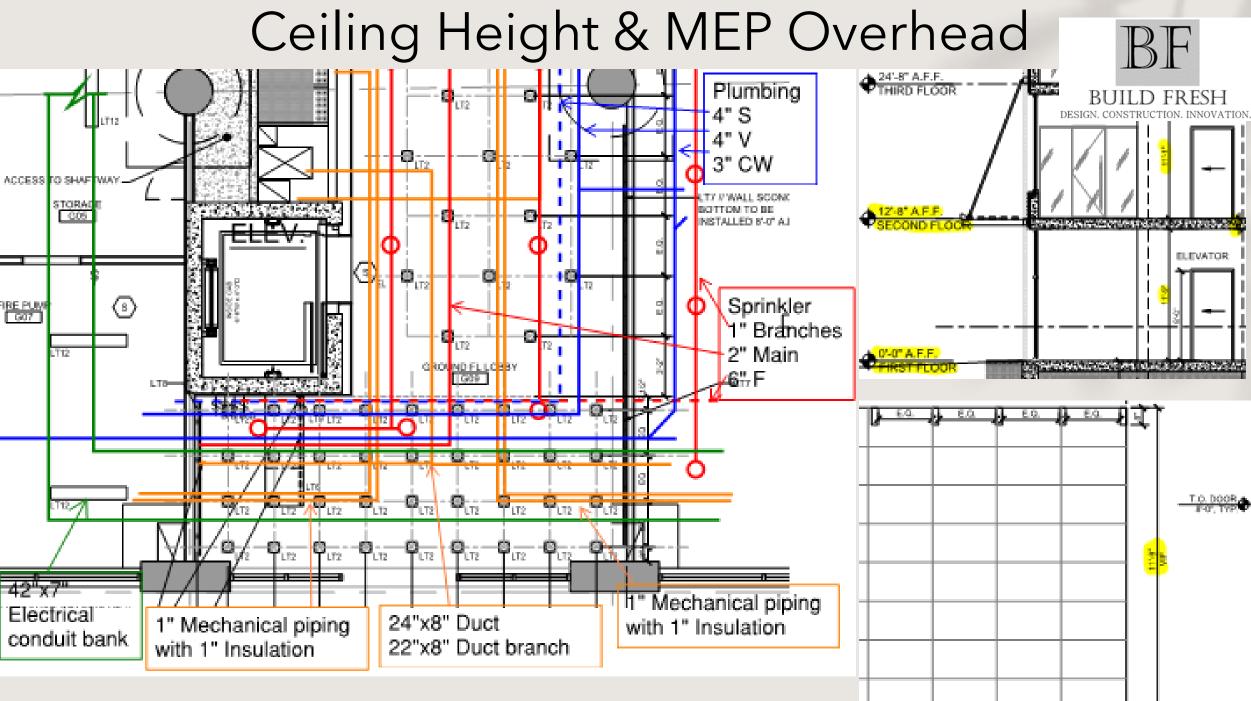
Proposed ID and Arch drawing ceiling heights are in conflict with all of the MEP overhead in the Lobby & on all Typical floors.

Recommendations:

- 1.) Reroute MEP overheads wherever possible.
- 2.) Resize duct work, coordinate MEP overhead locations to reduce overlap so to preserve max lobby ceiling heights.
- 3.) Once steps 1 & 2 have been exhausted either;
 - Paint MEPs and lower finishes
 - Add a sheetrock ceiling







FIN. FLOOR, 4

Constructability Review

Ground Floor Fire Stair C Plumbing Overhead:

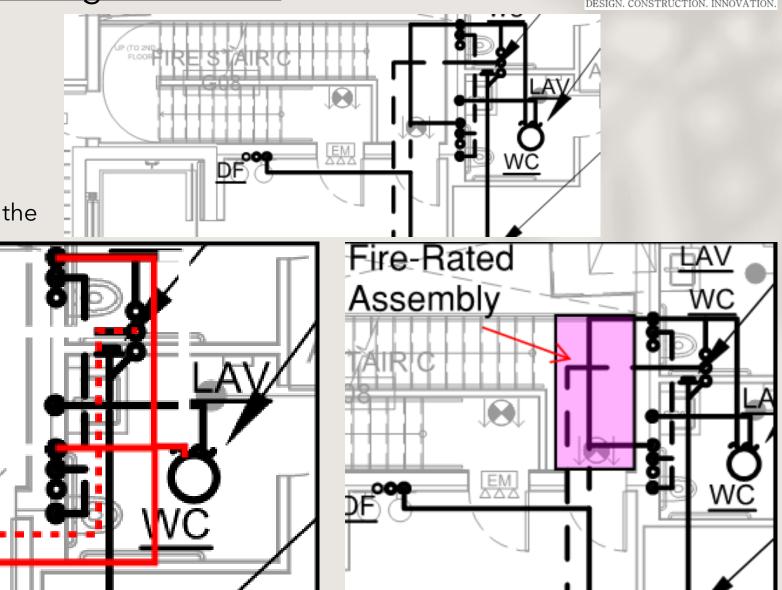


<u>lssue:</u>

Plumbing piping cutting through fire staircase C is not allowed by the NYC building code.

Recommendations:

- Install a Fire-rated assembly around the plumbing pipes.
- Reroute plumbing piping.



Constructability Review

Typical Lighting Controls (Elec vs Arch drawings):

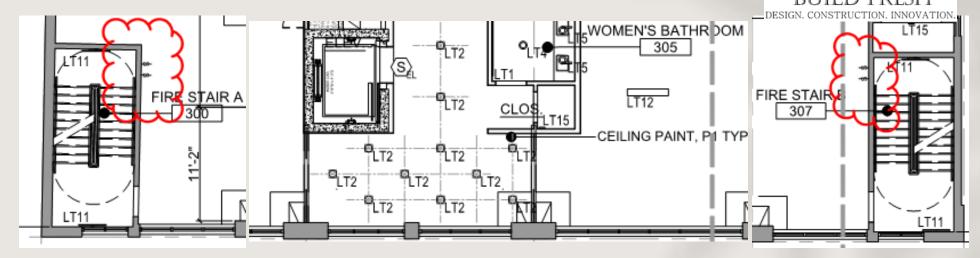


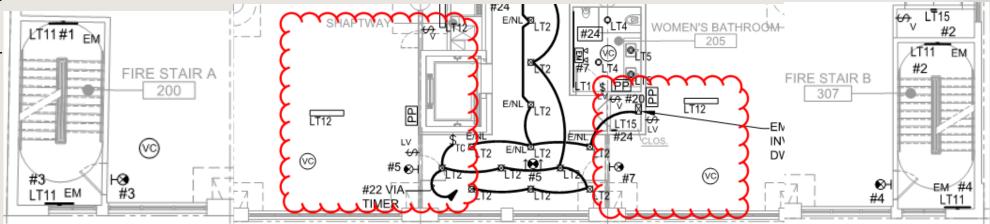
Issue:

Electrical Lighting Control drawings have conflicting switch locations with the Architectural RCP drawings.

Recommendations:

Design team should review switch locations clarify the light switch locations for the whitebox areas to reduce future RFIs and speed up the installation.



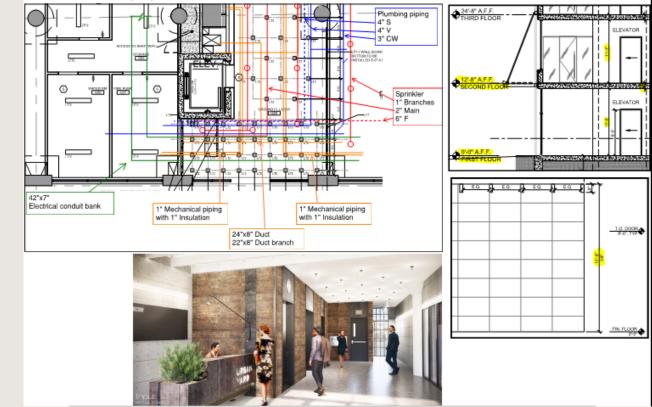


Constructability Review (RFI #1)

	RF	I #1	
Subject:	Ceiling Heights & MEP Overhead	Status:	Open
Assignees:	Murdock Solon (*required) 2LS Consulting Engineering (*required)	Ball In Court:	2LS Consulting Engineering
RFI Manager:	Build Fresh	Location:	Ground Floor
Created By:	Brian Fegan	Distribution List:	Murdock Solon 2LS Consulting Engineering Build Fresh
Due Date:	March 18, 2021		Elms Realty
Date Initiated:	March 6, 2021		Input Creative Studio Blue Sky Design

DESCRIPTION:

Upon review of the drawings, we discovered a major conflict of proposed interior design and the overhead MEPs. The slab height for the first-floor lobby is 12'-8" and the slab thickness is 11" giving the first floor a concrete slab ceiling height of 11'-9" (reference drawing A-301.00). The Interior Elevation drawing A-401.00 show the first floor of having an 11'-9" ceiling height with lights/piping surface mounted on the painted concrete slab ceiling. The MEP drawings (M-301, E-302, P-301, SP-301,) all have overhead crossovers in this area. The current configuration of the MEP overheads will not allow for the finishes shown in the ID drawings for the lobby. All other typical floors (2nd-6th floor) have the same issue. In fact, the conflict is more apparent as the typical slab height on these floors is 12' with a slab thickness of 11" creating a slab ceiling height of 11'1".





Constructability Review (RFI #2)

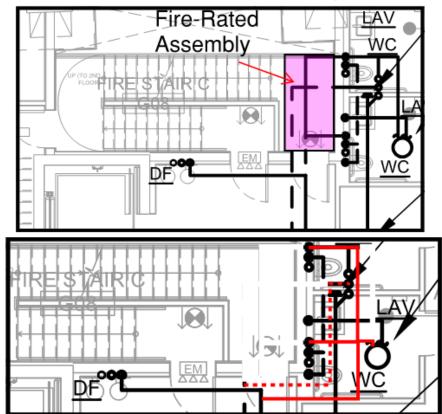
Subject:	Fire Stair C Plumbing Overhead	Status:	Open
Assignees:	Murdock Solon (*required) 2LS Consulting Engineering (*required)	Ball In Court:	2LS Consulting Engineering
RFI Manager:	Build Fresh	Location:	Ground Floor
5		Distribution List:	Murdock Solon
Created By:	Brian Fegan		2LS Consulting Engineering Build Fresh
Due Date:	March 18, 2021		Elms Realty Input Creative Studio
Date Initiated:	March 6, 2021		Blue Sky Design

RFI #2

DESCRIPTION:

Upon review of the plumbing drawings (P-301).

We found and issue that can easily be resolved with proper coordination and ownership approval. The plumbing overhead piping for two of the first-floor bathrooms cuts through fire staircase C. Per code nothing can be inside the staircase that does not directly serve this area. The plumbing piping can be boxed out in a fire-rated assembly if the owner would like to keep the current pipe routing for these bathrooms. As adding a Fire-rated assembly would add addition cost to the project we suggest instead that these pipes be rerouted around the staircase. The rerouting of the pipes should not add additional cost from the plumbers as the distance and there for the material used has not changed.





Constructability Review (RFI #3)

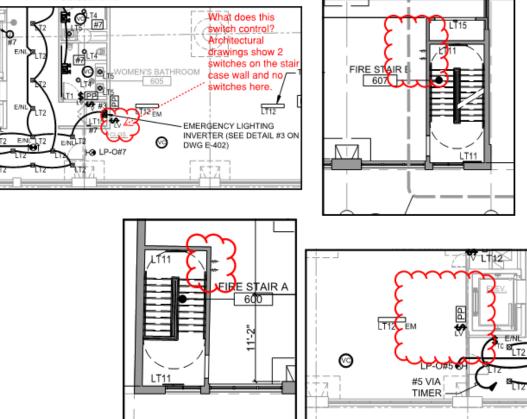
Subject:	Typical Lighting Controls	Status:	Open
Assignees:	Murdock Solon (*required) 2LS Consulting Engineering (*required)	Ball In Court:	2LS Consulting Engineering
	2LS Consulang Engineering (required)	Location:	Ground Floor
RFI Manager:	Build Fresh		
		Distribution List:	Murdock Solon
Created By:	Brian Fegan		2LS Consulting Engineering
			Build Fresh
Due Date:	March 18, 2021		Elms Realty
			Input Creative Studio
Date Initiated:	March 6, 2021		Blue Sky Design

RFI #3

DESCRIPTION:

Upon review of the Electrical drawings (E-301, E-303, E-305, E-307) and the Architectural drawings (A-121, A-122, A-123, A-124).

We found that there is a discrepancy in switch locations between what is shown on the Electrical lighting control drawings and the Architectural RCP drawing in the white box areas for future tenants. We recommend that the design team review the switch locations in these areas and clarify location and quantity to reduce confusion in the field and minimize installation time.







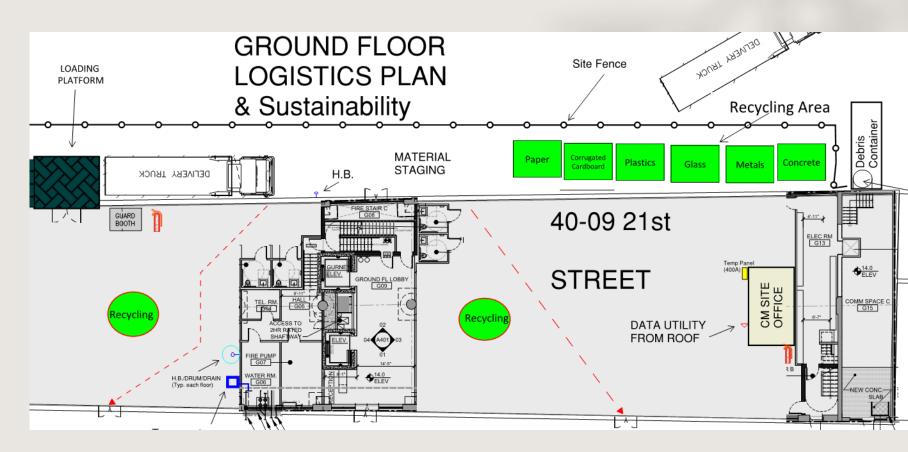
Section 16: Sustainability Construction Plan

Sustainability Construction Plan



General Build Fresh Goals:

- 1.) Use Sustainable Building Material.
- 2.) Use Prefabricated Material.
- 3.) Discourage the use of paper blueprints, drawings, and specifications.
- 4.) Discard the construction waste responsibly.



Sustainability – Waste Management

1.) Construction Waste will be separated into similar materials by our laborers into;

- Corrugated Cardboard
- Metals
- Glass
- Plastics
- Paper
- Concrete

2.) A waste management company will pick up the containers and recycle, repurpose, or correctly dispose the materials.

PROWAS PROWAS PROWAS PROWAS PROWAS PROWAS

Recycling Construction Waste



Sustainability – Air Quality

We use Grab 8 MERV 13 Filters as they maintain highest Air quality for the longest.

1.) MERV A/C filters will be changed regularly throughout the duration of the project.

2.) During the close out process we will change out the MERV filters and leave spares for the owner.

3.) Air Quality will be constantly monitored during construction.

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Sustainability – Commissioning

The Commissioning Process Construction

- Commissioning plan & schedule
- Review controls
- Write FPT procedures
- Construction observation
- Review O&M's & as-builts
- Training
- Test, correct & retest
- Final report

Then we will train the owner and his staff during the closeout phase of the project





Why is Sustainable Construction important?

- A better quality of life can be offered
- More people are turning to sustainability
- Sustainable Construction offers a greener future



Sustainability in Construction



We at Build Fresh believe it is time we all do our part.





Section 17: Construction Technology

- Procore
- Bluebeam
- BIM 360
- Microsoft Projects
- Flashtract

PROCORE[®]



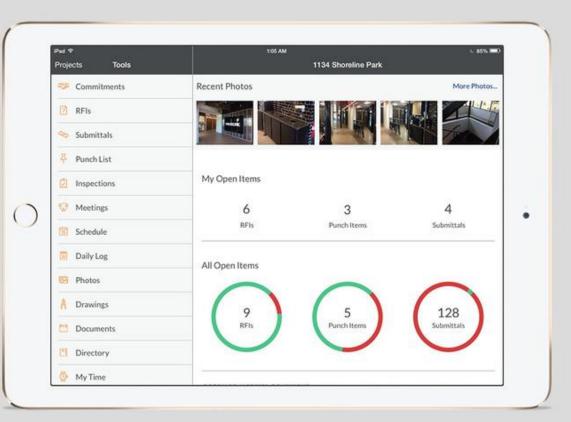
- 1.) Track and Reference Submittals
- 2.) View all Drawings and Revisions
- 3.) Daily Log Entries
- 4.) RFI Tracking
- 5.) Reference Meeting Minutes
- 6.) Site Photos and upload 3D scans
- 7.) Specifications for Equipment and Materials
- 8.) Project Schedule & Progress Tracking
- 9.) Observations
- 10.) Punch List

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Tools Punch List 🧳 🕂	> Destate	Original Budget Admini	Rolpet Madforders	Approved 10%	Annual Budget	Exampled Collin	time (sets	Andeg Cost Dange	Acutos Bulget Clarges			pane 1	2 mg	-	底 。 月前前	1 10000	⊗ T
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69 - Door Missing Assignments Stock Construer	Subhalar Earthwark	8123-20100	4114	\$799300	ADMAGES.	\$100,000 m	614.70120	8.40	8008			10	6	28 7	ar i	1.1	-
	Substate #3 - Site Construction	1023,000.00	8000	strain	\$20,000,000	\$345,000 DE	\$34,500.00	81.00	80.08					13		-	
68 - Handrail Damage	W RI General											12	IN.	遐	1		
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	89-192 General Committee's	\$290,000,00	31/10	818	101.008	(execution)	100	8.0	8210			1	ar 22 19	11	(44)	122	
67 - Paint Touch Up Due: 11/18/16 Assigned to Premiere #	Address Documents Samural	\$242,006,00	80.08	8100	6255-05-00	BMURGOR	alon.	81.10	8109				auce -	16 18	1-11	1.2	÷.
Car 10.16 is any star results to	Subtria 40 - Eastern	\$752,005.00	8108	800	\$547,000,00	\$41,500.00	\$100	94.00	8008			tenta t	6 Or	100	and an other	135	S
66 - Paint Touch Up	w tertanen	Sade control	\$5.18	61.06	\$15uintesh	\$116	110,410,00	M.M.	8006			1151	-	1.1.1.1.	10100	TI	
Dari 11/18/16 Anigned to Pression P.	V 8 inst	\$472,000.00	95.08	81.00	\$143,490.00	85.00	\$1,0000	10.00	\$16,47508			15.20		and the second	* I		
and a second	W In Country	3101-101-00	11.09	\$5,500.00	\$149,50000	81.09	44,000,00	10.00	10.08			15 %	a. IF	1 0 0	1.013	20 0	
65 - Fire Extinguisher Missing Due 11/18/16 Assigned to Fire Soficts for	Y 87-Terror Effortune Reserve	100.0010	90.08	steros.	SMLOOM	8108	\$11,0008	81.40	80.06			433 I	191 T.	1 -		+	. I
Due 11/16/16 Assigned to Fire Soliety Inc.	W Bildenings	\$74,544.04	8108	8100	813-030089	80.04	80,401,00	8.80	80.04					1			_
	w Britster	\$154,000,000	81.0	(entri)	341725536	80.40	94,002,06	8.8	8006			1111		' Q			
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PROCORE[°]

Dash Boards for easy viewing

PF	2000	RE Technology Ridge Read.	Condition in		anita Initiale Rfin	Drawings	Photos	* • *	- 55
Coor	dination	1 Issues Allower Analgred to Mr (8)				Export	* ds Download Pla	gin I Creats In	ar i
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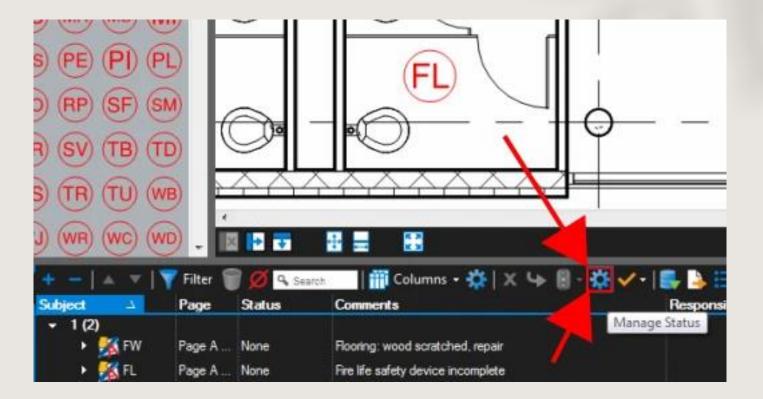


BUILD FRESH DESIGN. CONSTRUCTION. INNOVATION.

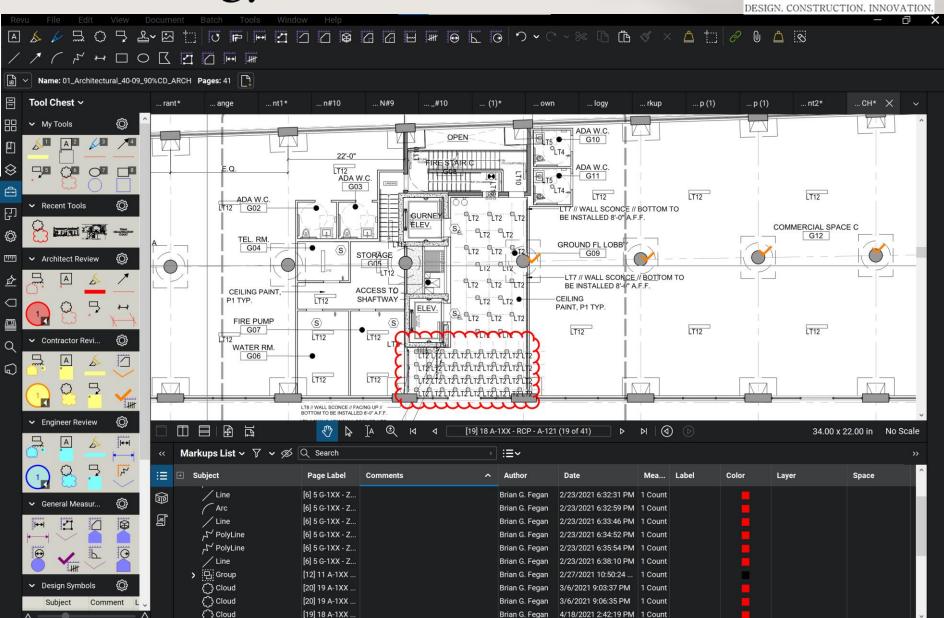
BLUEBEAM[®] **REVU[®] 2018**



- 1.) PDF Viewer
- 2.) Mark up Drawings
- 3.) Scale Drawings
- 4.) Drawing notes
- 5.) Drawing overlay
- 6.) Estimating Software







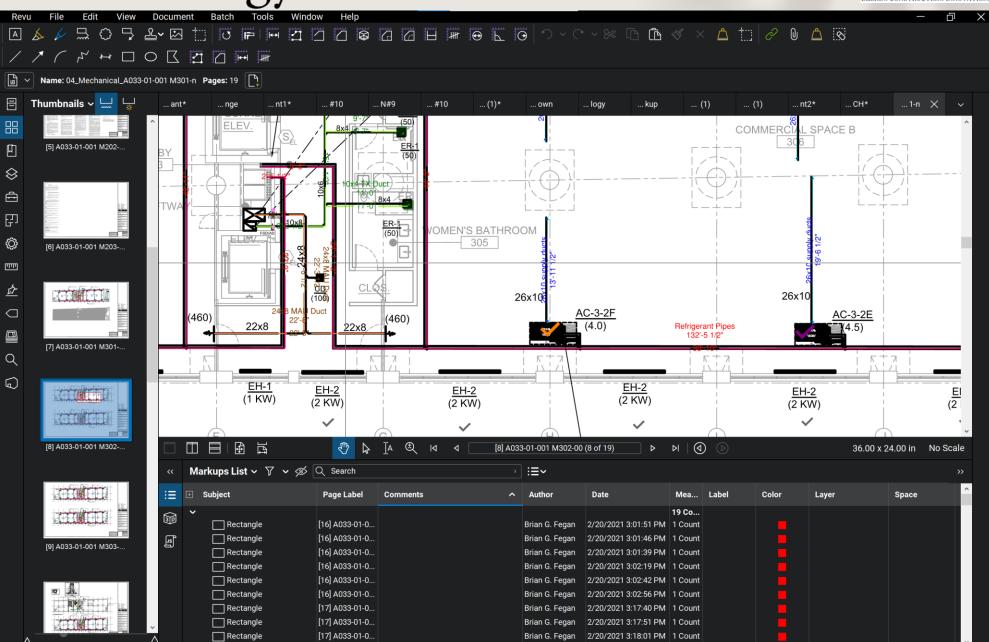
BUILD FRESH

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BUILD FRESH DESIGN. CONSTRUCTION. INNOVATION.

1.) Coordination

2.) Clash detection

3.) Saves from 7% to 30% in costs due to waste from rework.

4.) Prevents delays

5.) 3D scans to track progress

5.) Overall Reduction risk

BIM 360 NAVISWORKS INTEGRATION

Coordination > Clash	· .	
Status *		
Dpen		1
Title *		
Structural Beam Clash vs. Suppl	y Duct - LVL 2	
Assign To	-	
Q Search_		
User	· ·	
Anna Anderson-Lee Anderson Architects		
Deb Miller SureStruct		
Edward Roy Sparxx Electrical		
George Turner Ing ValuVent Engineering		
James Reyes Piper Plumbing		
Clear Root Cause		
Design Coordination		

Construction Technology: Microsoft Projects



BUILD FRESH

<u>Scheduling software that assists in:</u>

- The planning and execution of the project.
- Assigning resources.
- Tracking time and progress.
- Graphical reports.

			L			L													
ID	0	Task Mode	Task Name	Duration	Start	Finish	Mar	Qtr 2, 2021 Apr		May	Jun	Qtr 3, 20	Jul	Auc	I	San	Qtr 4, 2021 Oct	lov	Dec
1	-	INIOGE					Iviaf	Apr		ividy	Jun		Ju	Aug		Sep	υα	NUV.	Dec
2		*	Permits	15 days	Tue 4/27/21	Mon 5/17/21	-			ь									
3		*	Bid & Award Major Trade		Mon 4/26/2				(
4	_	*	Shop Drawings & Submitt	-	Mon 4/26/2		-												
5		*	Fabrication	20 days	Mon 5/17/2		-			+	_								
6	-	*	Mobilization	7 days		Thu 5/27/21	-												
7	_	÷	Site Protection	8 days		Thu 6/10/21	-				—								
8		-	Install Sidewalk Bridge		Tue 6/1/21														
9	*		Install Exterior Scaffoldi			Thu 6/10/21													
10		*	Demolition	22 days		Mon 7/5/21													
11	_	-	Demo Bulkhead Interior			Fri 6/4/21													
12	_	-	Demo Roof	1 day	Mon 6/7/21						1								
13	_	-	Demo 6th floor interior			Thu 6/10/21													
14	_		Demo 5th floot interior			Tue 6/15/21													
15	_		Demo 4th floor interior		Wed 6/16/2		-					6							
16	_		Demo 3rd floor interior			Wed 6/23/21	-												
17	_		Demo 2nd floor interior			Mon 6/28/21	-												
18	_	-	Demo 1st floor interior		Tue 6/29/21														
19	_			1 day	Mon 7/5/21							- -							
20			Excavation	10 days	Fri 6/18/21							<u> </u>							
21	_	*	Cellar - Remove 2 colum		Fri 6/18/21						1								
22	_		Cellar - South electric ro			Tue 6/22/21	-												
23	_	*	Cellar - Elevator pits	5 days	Fri 6/25/21		-												
24	_	*		5 days	Fri 6/18/21		_												
25		×	Structure	36 days		Mon 8/9/21	-					»		_					
26		7		1 day	Mon	Mon 6/21/21								•					
20			bench footing - Form,	- 009	6/21/21														
			Rebar, Concrete																
27		*		2 days	Fri 7/2/21	Mon 7/5/21						📕 🍈							
			Form, Rebar, Concrete				_												
28		*	Cellar - East entrance -	2 days	Fri 6/25/21	Mon 6/28/21						Шı							
29	_		Form, Rebar, Concrete	1	F.: C/05/04	E -: C /25 /21	_												
29		*	Cellar - South/West bench footing - Strip	1 day	Fri 6/25/21	FII 6/25/21													
			formwork & Back fill																
30		*		1 day	Mon	Mon 6/28/21						bu							
			Strip formwork		6/28/21														
31		*	Cellar - East entrance -	1 day	Tue 6/29/21	Tue 6/29/21						ř							
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			Task		Pro	ect Summary		- Manual Tas	k		S	itart-only	E		Deadli	ne	+		
		oject sched	ule.mpp Split		Inac	tive Task		Duration-or	nly (F	inish-only	3		Progre	55			
Date	e: Sun 4	4/18/21	Milestone	•	Inac	tive Milestone		Manual Sum	nmary Rollup 🔒		E	xternal Tasks			Manua	I Progress			
			Summary	1	Inac	tive Summary	1	Manual Sun	nmary		E	xternal Milestone	•						
			I						Page 1										
1																			



Payment Management system:

Keeps the billing process moving efficiently when paying contractors.

Paying contractors fast keeps the project on schedule.

Fla%htract

Construction Payments Powered by Flashtract

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Thank you for your time!

Questions? Comments? Concerns?